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## MEMORANDUM

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TO: Mayor & City Council  
FROM: Mary Lou DeWitt, Comm. Dev. Zoning Specialist  
SUBJECT: **Palmer Bus Service Site Plan Review**  
DATE: September 23<sup>rd</sup>, 2024

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***NO ACTION REQUIRED, INFORMATIONAL ONLY***

**Background:**

Rice Companies, in behalf of Palmer Princeton Holdings, LLC had submitted a Site Plan Review application for a 38,320 square foot Office/Bus Storage Facility for Palmer Bus Service on 8.58 acres. The site is located at 103 Business Park Drive in Princeton Business Park, Lot 1, Block 1, PID #24-687-0010.

**Zoning:**

The proposed office/bus storage facility is located in the MN-1, Industrial Zoning District.

**Yard Requirements for MN - 1 District**

	<b>All Uses</b>
<b>A.</b> Lot area minimum	12,500 sq ft
<b>B.</b> Lot width minimum feet	---
<b>C.</b> Front yard minimum	40 feet <sup>3</sup>
<b>D.</b> Side yard minimum	20 feet
<b>E.</b> Street side yard	30 feet
<b>F.</b> Rear yard minimum	20 feet <sup>1</sup>
<b>G.</b> Maximum height	30 feet <sup>2</sup>

<sup>1</sup> Rear Yard Setback – 50 feet when abutting a residential district.

<sup>2</sup> Maximum building height greater than (30) thirty feet, as measured to the eaves.

<sup>3</sup> Business that is abutting a highway and a street shall have two front yards.

**Access / Parking:**

The access to the site is from First Street/18<sup>th</sup> Street (County Road 31) onto Business Park Drive or the secondary access would be First Street onto 21<sup>st</sup> Avenue South to Business Park Drive.

The total site parking spaces is 54, of those are 3 ADA compliant spaces, and 5 mechanic spaces adjacent to the shop entrance. Accessible parking signage is required with logo and striping as well as areas that need no parking signage. Employees on the largest shift is approximately 40. The buses will be stored in the bus garage that will fit 32 buses and positions for vans and trailers.

The parking lot dimensions will be 20' x 9' feet with a 26' foot drive aisle. The entrance for the buses will be 41' feet wide to give more room for the bus drivers to turn into the site.

**Lighting:**

The plans show light poles around the parking lot. Existing light poles will be protected during construction and if damaged, the cost to replace or repair will be at the contractor's expense. The exterior doors and garage doors will be lit by wall packs.

**Signage:**

Signage will be submitted for review at a later date.

**Landscaping:**

In the MN-1, Industrial District the landscape requirements:

- 1) At least fifteen percent (15%) of the land area shall be sodded and landscaped with approved ground cover, shrubbery and trees.
- 2) At least three percent (3%) of the internal parking area shall be landscaped. This area is counted as part of the overall required "landscape area."

Trees shall be at least eight (8) inches in diameter at installation.

The lot shall be maintained for grass/weeds to be kept no higher than 6" inches.

Screening for the neighboring property on the west side of the lot is provided by the storm-water pond with four blue spruce trees to reduce headlights from the buses entering into the garage.

**Dumpster:**

The trash enclosure is located in the northwest area of the site on an enclosed concrete pad. The size of the enclosure is 8' x 18'.

**Building Materials:**

The building height is 34'-10" with pre-finished metal panels. The office is at the front east side of the building with windows facing the parking lot.

**Sewer and Water Connection:**

The water and sewer service line connection is in the lot from the existing service on Business Park Drive. A SAC (Sewer Access Connection) and WAC (Water Access Connection) be applied for with the building permit.

**Grading, Drainage, and Storm Water:**

The plans need to reflect the City Engineer's memo dated September 11<sup>th</sup>, 2024

**Fire:**

The building will have a fire sprinkler system. A Knox Box will be required on the building and the applicant will contact the Princeton Fire Department to acquire one and placement location on the building.

South of the bus garage is a refueling pad with a 12,600 gallon diesel pump and a 2,000 gallon gas pump. The pad is 18' x 40' square feet and is positioned where the buses come in, refill,

and proceed to the garage. There is a 55' foot drive area which will give room for other buses to drive around the bus that is being refueled.

**Conclusion / Recommendation:**

The Planning Commission approved on September 16<sup>th</sup>, 2024 the Site Plan for Palmer Bus Service located at 103 Business Park Drive, Lot 1, Block 1, Princeton Business Park, PID #24-687-0010 with the following conditions:

1. The plans reflect the conditions and conclusions of the City Engineer's memo dated September 11<sup>th</sup>, 2024.
2. The building will have a fire sprinkler system.
3. All necessary permits shall be applied for and approved prior to construction, including, but not limited to: Building Permit, Water Access Charge (WAC), Sewer Access Charge (SAC), Digging Permit, and Sign Permit.
4. The work shall be carried on with minimum of interference with traffic.
5. The contractor will contact Public Works Department and Princeton Public Utilities for the connections for water, sewer, and utility meters.
6. If due to weather conditions the sodding and/seeding and driveway asphalt installation is unadvisable, a separate escrow deposit be submitted prior to issuance of a Certificate of Occupancy.
7. The contractor will contact the Princeton Fire Department to acquire a Knox Box and placement location on the building.
8. The lot shall be maintained for grass/weeds to be kept no higher than 6" inches.
9. The contractor shall replace in-kind or better all streets, sidewalks, curb and gutter disturbed or damaged during construction.
10. The contractor is responsible for avoidance of utilities and shall not damage existing utilities and repair or cost of repair shall be sole responsibility of the contractor.
11. At least fifteen percent (15%) of the land area shall be sodded and landscaped.



## Memorandum

To: Bryan Lynch, Palmer Bus Service  
Rian DeMarais, Rice Companies  
Matt Knutson, Rice Companies  
Kelli Gradient, PE, Gradient Engineering

From: Jennifer Edison, PE – WSB, City Engineer  
Stacy Marquardt, Community Development Director, City of Princeton  
Mary Lou Dewitt, Community Development Zoning Specialist, City of Princeton

Date: September 11, 2024

Re: Palmer Bus Holdings, LLC  
Site Plan Review  
WSB Project No. 026552-000

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We have reviewed the preliminary plat documents, revised 08/27/24, by Gradient Engineering, and have the following comments:

### Planning/Zoning

1. SAC and WAC fees are based on service line size and must be paid at the time of building permit.
2. Signage will need a permit and must meet the traffic visibility guidelines if placed near a road intersection.

### Engineering

#### **Sanitary Sewer/Watermain**

3. With the proposal to split the lot for a future development to the south, staff are not in favor of using a single sewer and water connection to service both lots. Since both sewer and water are available on CSAH 31, City staff supports a connection for both utilities at this location in lieu of the stub off of Business Park Drive. It appears that it will be a more direct connection and will eliminate all the cleanouts (we are not in support of using cleanouts in lieu of manholes for 6" pipe).

#### **Storm Sewer/Storm Water**

4. Include detail on inlet protection devices.
5. Include detail of HDPE flared-end section.
6. Submit design calculations for the 1-year storm event.
7. Provide rational method storm sewer sizing calculations to confirm storm sewer is sized for a 10-year storm event.
8. Verify CBMH 3 diameter will work with the two pipe angles coming into the structure.
9. Following the construction of infiltration areas, field testing of the area shall be completed by the project proposer and results submitted to the City for review.

**Grading**

10. Identify curb type and indicate on plans where tip out curb will be necessary. The grading plan shows a curb separating the two parking lots, but the grading plan shows stormwater draining from the south lot to the north lot. With the curb present, its not clear how this will work.
11. The scale on the grading plan is 80 scale, this is not a standard scale – please change to a standard scale.
12. I would like more of an opportunity to talk about the grading of the southern lot. Are the grades set to balance earthwork? It seems as if there could be some additional grading modifications to eliminate some of the storm catch basins in the southern curb line.

**PUC (Electric)**

13. See attached handout from the Princeton Public Utility Commission.

**Police/Fire**

**Hydrant Required Per 2020 MN State Fire Code**

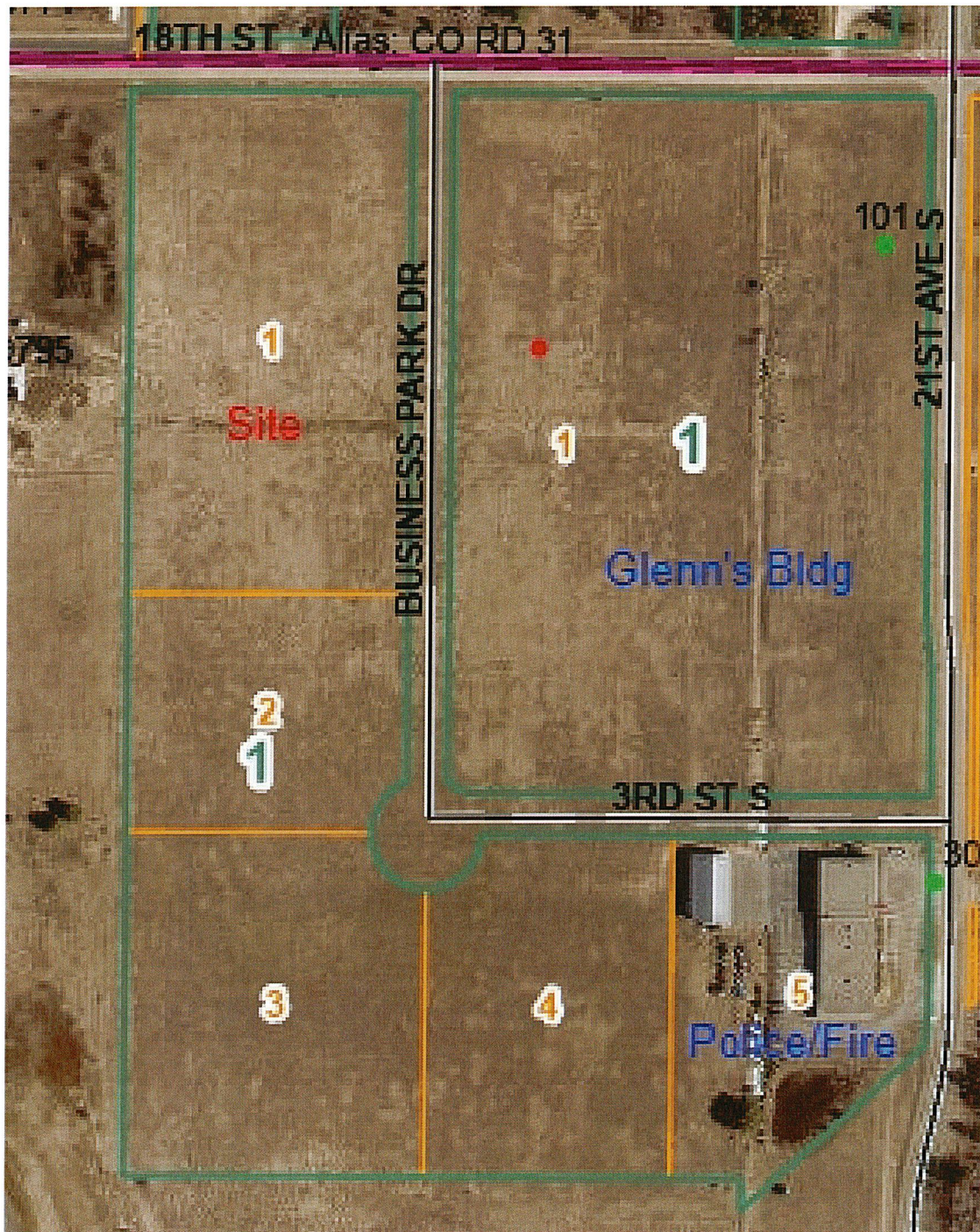
14. 507.5.1.1 Hydrant for standpipe systems.

Buildings equipped with a standpipe system installed in accordance with Section 905 shall have a fire hydrant within 100 feet (30 480 mm) of the fire department connections.

**Lock Box Required Per 2020 MN State Fire Code**

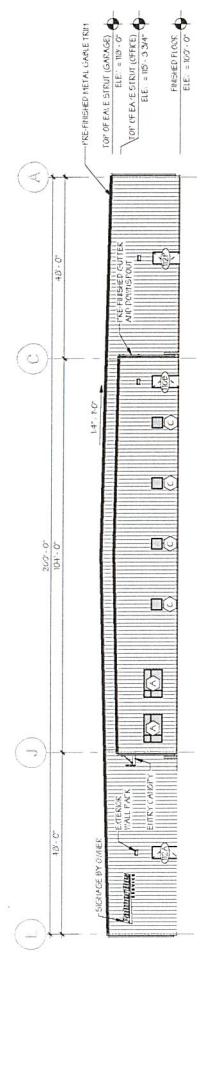
15. 506.1 Where required.

Where access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official

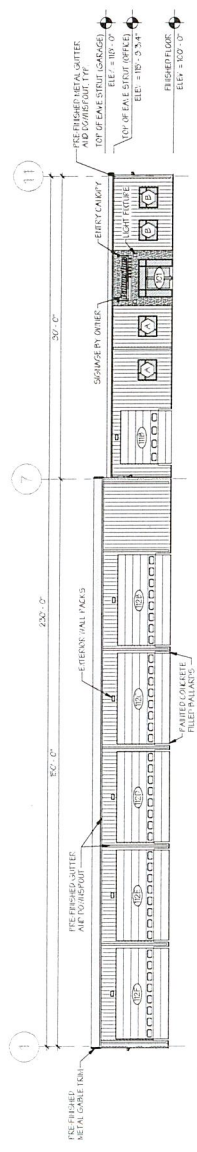




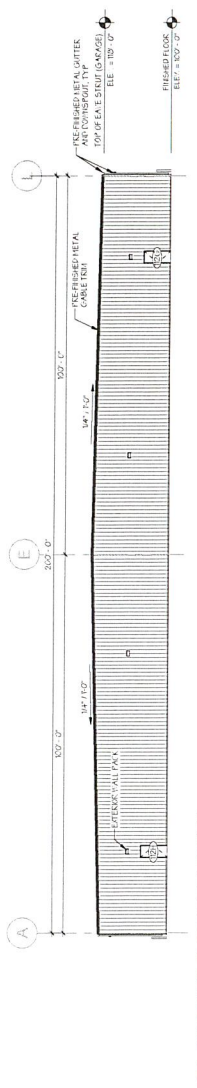




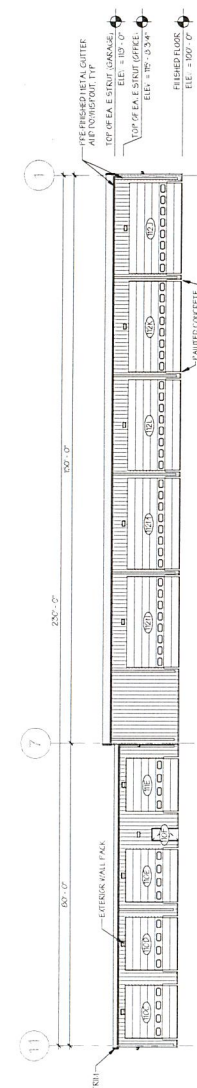
**4** EXTERIOR ELEVATION NORTH  
 1/16" = 1'-0"



**3** EXTERIOR ELEVATION EAST  
 1/16" = 1'-0"



**2** EXTERIOR ELEVATION SOUTH  
 1/16" = 1'-0"



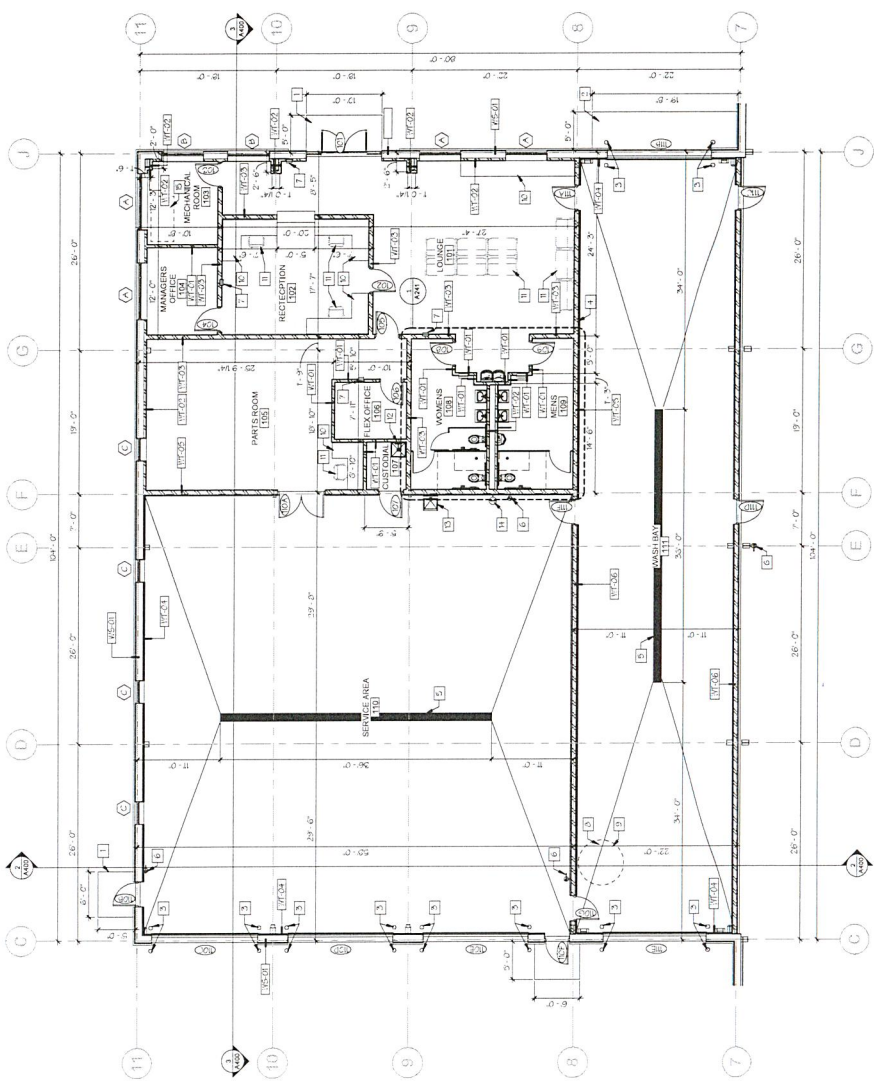
**1** EXTERIOR ELEVATION WEST  
 1/16" = 1'-0"





- GENERAL NOTES**
- 1 ALL DIMENSIONS ARE FINISH UNLESS OTHERWISE NOTED.
  - 2 REFER TO ALL DRAWINGS FOR MATERIALS, FINISHES, AND CONSTRUCTION DETAILS.
  - 3 SEE SHEET A240 FOR LAYOUT AND DIMENSIONS.
  - 4 PROVIDE SLOPE TO DRAINAGE AS NOTED.
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- CONSTRUCTION NOTES**
- 1 CONCRETE STUOP - SEE STRUCTURAL DRAWINGS.
  - 2 CONCRETE FLOOR - SEE STRUCTURAL DRAWINGS.
  - 3 CONCRETE FLOOR - SEE STRUCTURAL DRAWINGS.
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  - 39 CONCRETE FLOOR - SEE STRUCTURAL DRAWINGS.
  - 40 CONCRETE FLOOR - SEE STRUCTURAL DRAWINGS.



**1 ENLARGED WASH BAY AND OFFICE PLAN**  
 1/8" = 1'-0"  
 1/AC201

**PROJECT SUMMARY**

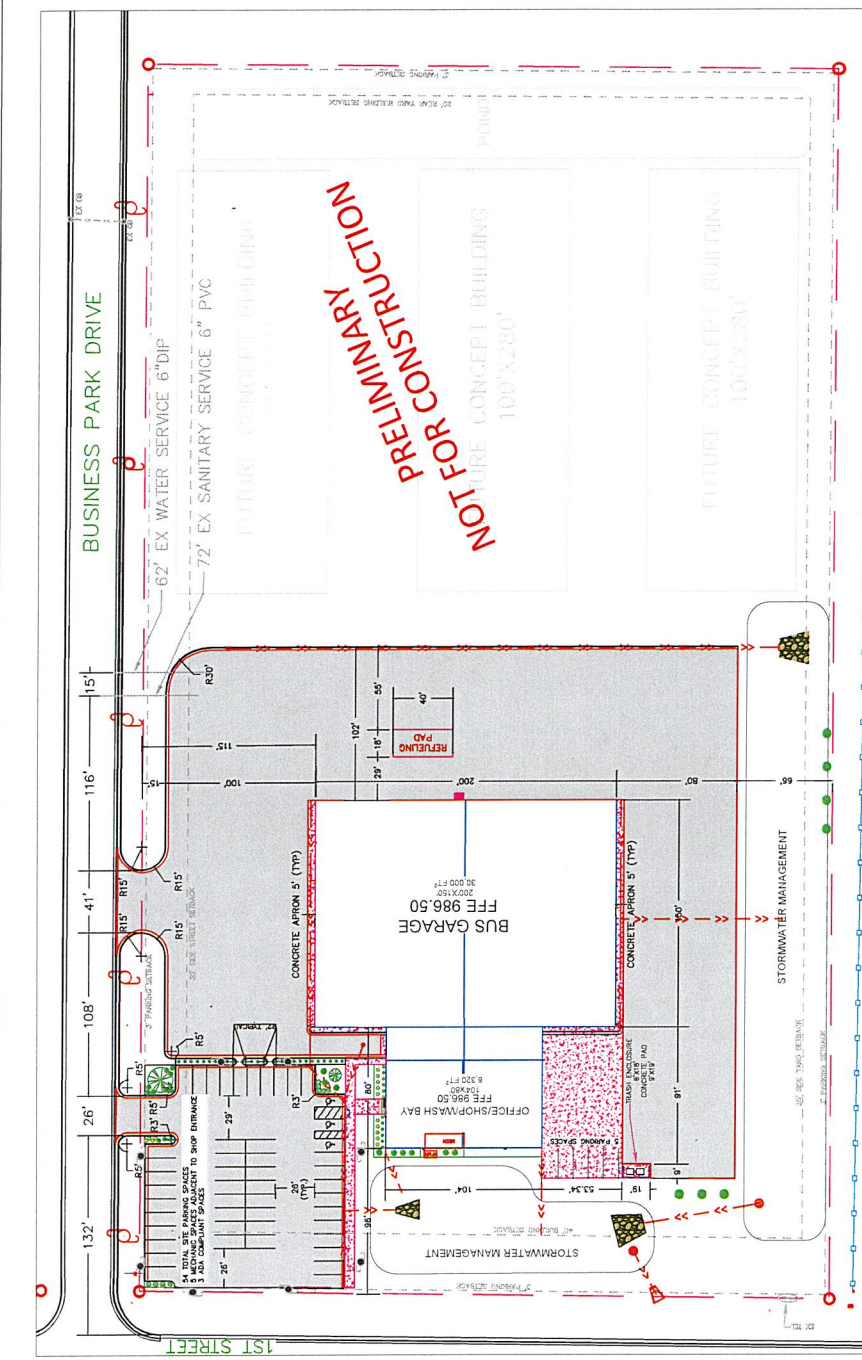
PERFORM SITE GRADING, CONSTRUCT 150'X200' BUS STORAGE BUILDING, CONSTRUCT ASPHALT DRIVEWAY SURFACE, CONCRETE WALKWAYS, AND SPACE PARKING AREA WITH ADJACENT PEDESTRIAN WALKWAYS. CONSTRUCT ASPHALT DRIVEWAY SURFACE, CONCRETE WALKWAYS, AND CONCRETE APRONS FOR BUILDING ACCESS. CONSTRUCT APPROXIMATE 100'X280' FUTURE CONCEPT BUILDING AND 100'X280' FUTURE CONCEPT BUILDING. CONSTRUCT STORMWATER MANAGEMENT SYSTEM AND INFILTRATION FACILITIES TO MEET THE CITY OF PRINCETON AND MPCA REQUIREMENTS. INSTALL SANITARY AND WATER SERVICES AND PRIVATE UTILITIES.

**LEGEND**

- PROPERTY LINE
- 1050' PROPOSED CONTOUR
- EXISTING FENCE
- EXISTING WATER MAIN
- PROPOSED CONCRETE
- SILT FENCE
- PROPOSED STORM
- PROPOSED WATER SERVICE
- WATERSHED DELINEATION
- PROPOSED TELECOM SERVICE
- PROPOSED SANITARY SERVICE
- SETBACK LINE

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- SEED AND MULCH
- RIP RAP
- EROSION MAT

- ▭ FLARED END SECTION
- PERFORATED STANDPIPE OUTLET
- × PROPOSED SPOT ELEVATION
- ◆ HIGH POINT
- ↑ RUNOFF FLOW DIRECTION
- SANITARY MANHOLE
- SOIL BORING
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- ELECTRIC TRANSFORMER
- RFR



**SITE PLAN COMPLIANCE**

PARKING REQUIRED	REQUIRED SETBACKS		PARKING DIMENSIONS		LANDSCAPING REQUIREMENT	
	FRONT YARD	TYPE	LENGTH	WIDTH	TYPE	FT <sup>2</sup>
54 PARKING SPACES 3 ADA COMPLIANT SPACES	47	40'	20'	9'	PARKING LOT AREA	19,833
3 COMPANY VEHICLES PARKED INSIDE BUS STORAGE BUILDING	1	20'	30'	180	INTERNAL PARKING LANDSCAPED AREA	1,371
	54	20	20	180	3% PARKING LANDSCAPING REQ	596
	3	3'			TOTAL PROPERTY AREA	374,402
	3				PROPOSED IMPROVEMENT AREA	140,445
	YES				FUTURE IMPROVEMENT AREA	135,003
	YES				TOTAL LANDSCAPED AREA*	98,054
					15% SITE LANDSCAPING REQUIRED	56,100

\*TOTAL LANDSCAPED AREA INCLUDES ALL PROPOSED AND FUTURE SITE IMPROVEMENTS. TOTAL AREA PROPOSED AND FUTURE IMPROVEMENTS IS 276,348 FT<sup>2</sup>.

**SITE PLAN**

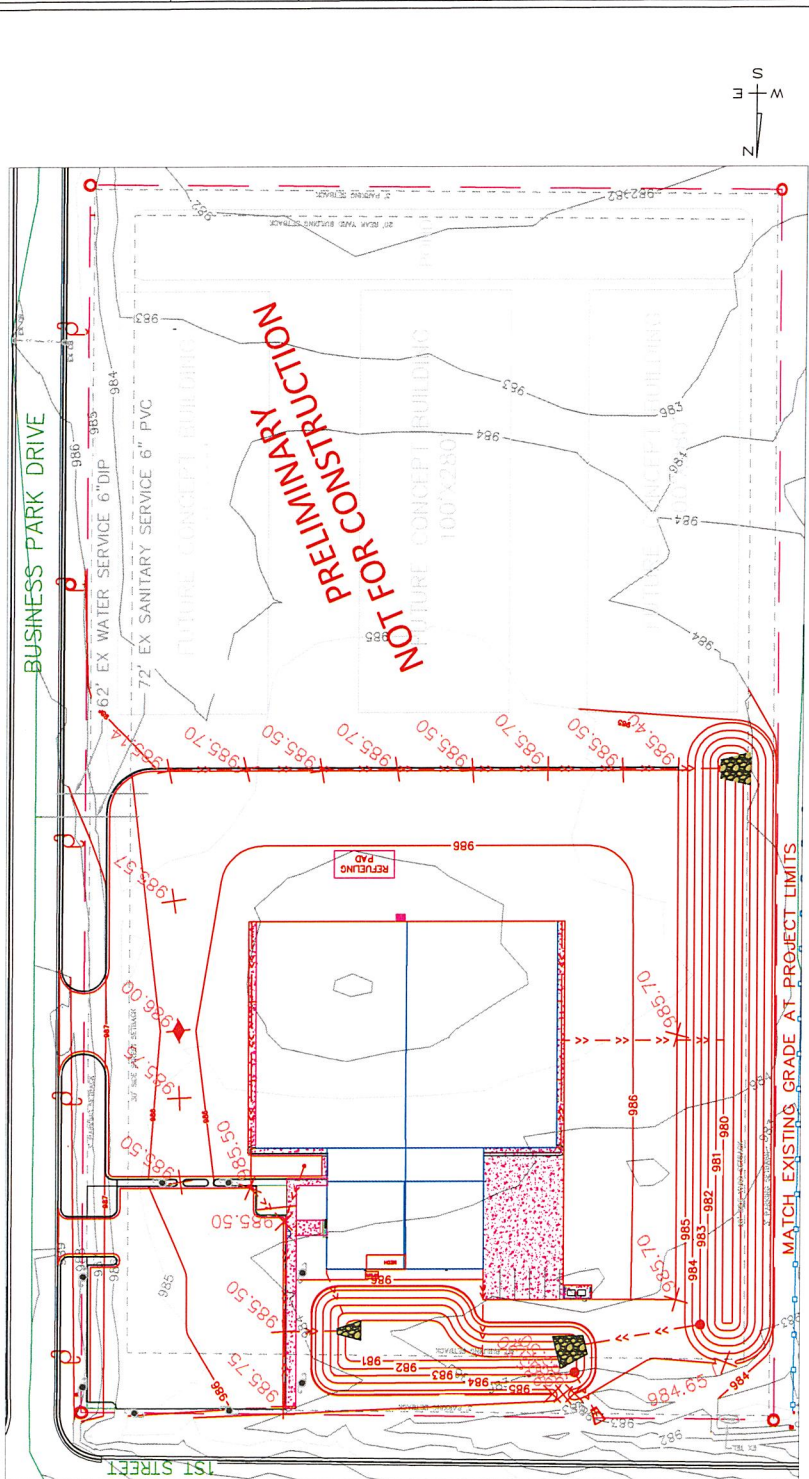
Client: PALMER BUS SERVICE	Record Plans
PRINCETON, MN	Issued for Construction
BUSINESS PARK DRIVE, ADDRESS TBD	Final Design
PALMER PRINCETON HOLDINGS, LLC	Authority Approved
Checked By: KJG	Date: 2024-08-27
Drawn By: KJG	Revision
Drawing Status: X Preliminary	

GADIENT ENGINEERING RED WING, MN

C2.0

GRADING PLAN	Client: PALMER BUS SERVICE	Record Plans
BUSINESS PARK DRIVE, ADDRESS TBD	Issued for Construction	
PRINCETON, MN	Final Design	
X Preliminary	Authority Approved	
Checked By: _____	Date: 2024-08-27	
Drawn By: KJG	Revision	
SITE PLAN		
PRELIMINARY		

C2.1



**NOTES**

SITE CONSTRUCTION SHALL MEET THE REQUIREMENTS SET FORTH UNDER CITY OF PRINCETON, SUBDIVISION ORDINANCE ENGINEERING STANDARDS WITH THE CITY OF PRINCETON CODES AND STANDARDS. THE ABOVE REFERENCED ENGINEERING STANDARDS SHALL BE THE GOVERNING SPECIFICATION FOR THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR MAKING HIM/HERSELF AND ALL SUBCONTRACTORS FAMILIAR WITH THE ORDINANCE ENGINEERING STANDARDS RELATIVE TO THE PROJECT. IMPROVEMENTS SHALL CONFORM WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

CONTRACTOR SHALL REPLACE IN-KIND ALL STREETS, SIDEWALKS, CURB AND GUTTER DISTURBED OR DAMAGED DURING CONSTRUCTION OPERATIONS. CURB SHALL BE REPLACED FORMED AND REPLACED WITH SAME TYPE OF SECTION AND SAME TYPE OF CONSTRUCTION AS EXISTING CURB.

CONTRACTOR SHALL REPLACE OR RELOCATE ALL UTILITY POLES REQUIRED TO CONSTRUCT THE SITE IMPROVEMENTS.

ALL GRADES, PROPOSED CONTOURS, AND SPOT ELEVATIONS ARE FINISHED GRADE ELEVATIONS. ALL FINISHED GRADES ADJACENT TO BUILDINGS SHALL BE A MINIMUM OF .05' BELOW ADJACENT SLABS TO PREVENT WATER FROM ENTERING BUILDINGS. CONCRETE APRONS AND GRADES ADJACENT TO BUILDINGS SHALL BE CONSTRUCTED TO FACILITATE POSITIVE DRAINAGE AWAY FROM BUILDINGS. ANY AREAS THAT DO NOT MEET THIS REQUIREMENT SHALL BE RECONSTRUCTED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL WARRANT CONCRETE CONSTRUCTION ADJACENT TO BUILDINGS FOR A PERIOD OF NOT LESS THAN 4 YEARS AGAINST DEFECTS AND SETTLEMENT.

AVOID PARKING AND OPERATION OF EQUIPMENT IN INFILTRATION AND RETENTION AREAS TO PREVENT COMPACTION. DO NOT PLACE FILL OR STOCKPILE SOIL IN INFILTRATION OR RETENTION AREA.

OVERHEAD AND UNDERGROUND UTILITIES ARE PRESENT ON SITE. CONTRACTOR SHALL USE CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND UTILITIES. MULTIPLE UTILITIES ARE LOCATED ON OR NEAR THE PROJECT. CONTRACTOR SHALL TAKE PRECAUTIONS FOR AVOIDANCE OF UTILITIES AND SHALL NOT DAMAGE EXISTING UTILITIES. REPAIR OR COST OF REPAIR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR IS RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL UTILITIES. CONTRACTOR SHALL PROTECT EXISTING STREET, CURB AND SIDEWALK FROM DAMAGE DUE TO OPERATION OF EQUIPMENT OR OTHER CAUSES.

USE SELECT GRANULAR FILL IN PLACE OF FUTURE BUILDING PADS. FILL SHALL BE COMPACTED IN PLACE. SUBBASE SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY. CRUSHED AGGREGATE BASE SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY. COMPACTION TESTING SHALL BE DONE AT THE CONTRACTOR'S EXPENSE BY A CERTIFIED THIRD PARTY. TESTING SHALL BE DONE ON A SPACING OF NO LESS THAN 100' AND WITHIN 5' OF EDGES OF ASPHALT OR CURB IN ALL AREAS OF PAVEMENT AND CONCRETE. TEST REPORTS SHALL BE FURNISHED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL. IF CONTRACTOR SHALL CONTINUE COMPACTION IN THAT LOCATION UNTIL COMPACTION REQUIREMENTS ARE ATTAINED.

INSULATE ALL AREAS WHERE STORM SEWER INTERSECTS WITH WATER MAIN, SANITARY SEWER, AND SANITARY SERVICES.

CONTRACTOR SHALL MATCH EXISTING GRADE AT PROJECT LIMITS.

CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES AND SERVICES. SANITARY AND WATER SERVICES SHALL BE LOCATED FROM EXISTING LOCATION ALONG BUSINESS PARK DRIVE TO PROPOSED MECHANICAL ROOM.

CURB AND GUTTER TYPE SHALL MATCH EXISTING CURB ON BUSINESS PARK DRIVE.

**MATCH EXISTING GRADE AT PROJECT LIMITS**

**NOT FOR CONSTRUCTION**

**STORMWATER STRUCTURE SUMMARY**

CBMH-1  
2'x3'x4' DEPTH CBMH  
TOP CASTING ELE. 985.50  
OUTLET INV. 981.77  
N. INLET INV. 981.87  
S. INLET INV. 981.87

CB-2  
2'x3' CB  
TOP CASTING ELE. 985.75  
OUTLET INV. 983.75

CBMH-3  
4'DIA. X4' DEPTH CBMH  
TOP CASTING ELE. 985.50  
OUTLET INV. 982.102  
N. INLET INV. 983.02  
S. INLET INV. 983.02

CB-4  
2'x3' CB  
TOP CASTING ELE. 986.25  
OUTLET INV. 984.25

CB-5  
2'x3' CB  
TOP CASTING ELE. 985.50  
OUTLET INV. 983.50

CB-6  
2'x3' CB  
TOP CASTING ELE. 985.14  
OUTLET INV. 983.14

CB-7  
2'x3' CB  
TOP CASTING ELE. 985.50  
E. INLET INV. 982.16  
W. OUTLET INV. 982.16

CB-8  
2'x3' CB  
TOP CASTING ELE. 985.50  
E. INLET INV. 981.18  
W. OUTLET INV. 981.08

CB-9  
2'x3' CB  
TOP CASTING ELE. 985.50  
E. INLET INV. 980.10  
W. OUTLET INV. 980.00

FES-13  
HOPE FLARED END SECTION CONFORMING TO FILL  
INLET INV. 979.36

FES-10  
HOPE FLARED END SECTION CONFORMING TO FILL  
INLET INV. 981.25

**POND OUTLET SUMMARY**

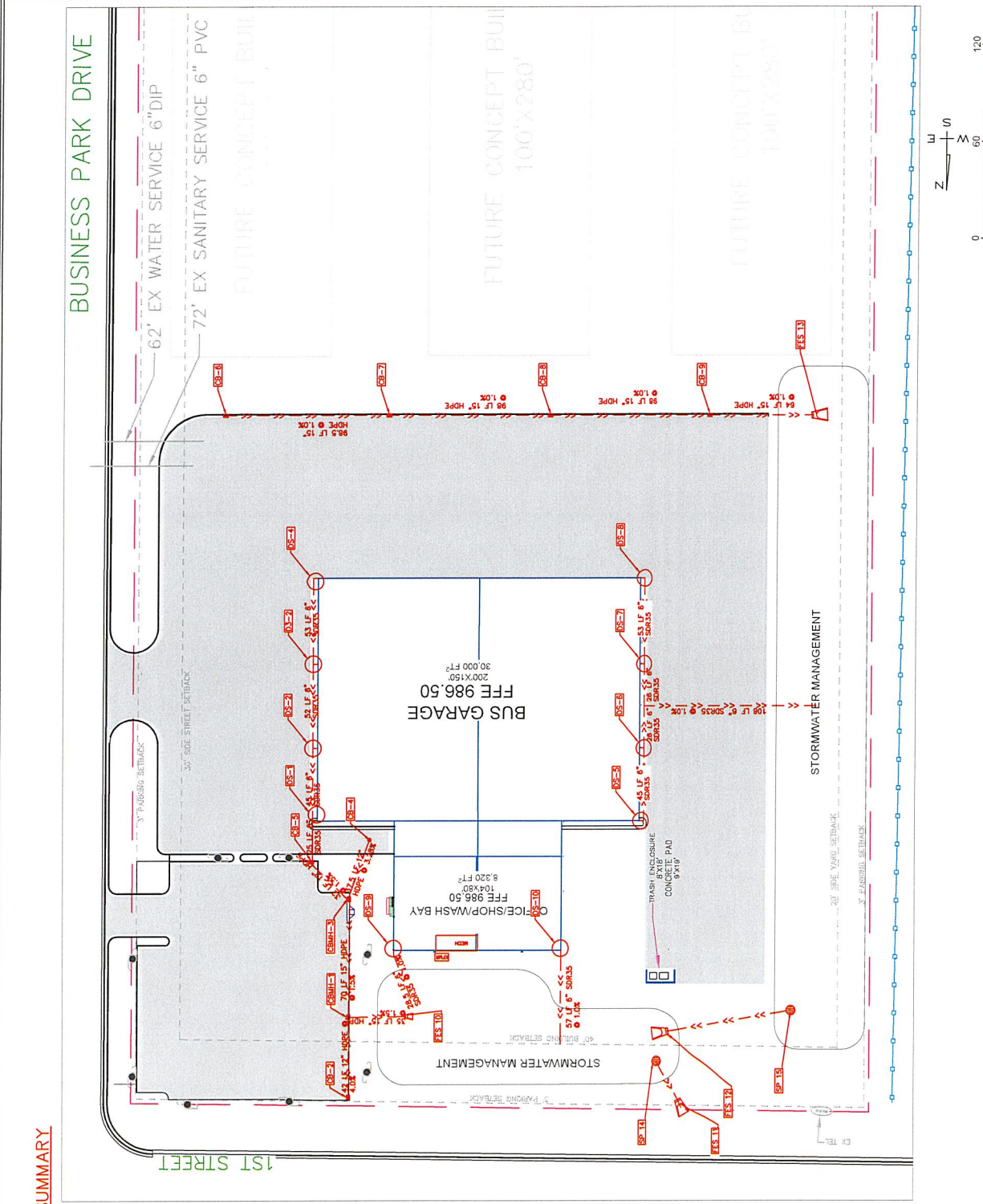
SP-14  
8" PERFORATED STANDPIPE  
CONNECT TO FES 11  
STANDPIPE OVERFLOW ELE. 984.00  
OUTLET INV. 983.10

FES-10  
HOPE FLARED END SECTION CONFORMING TO FILL  
INLET INV. 982.17

SP-15  
8" PERFORATED STANDPIPE  
CONNECT TO FES 12  
STANDPIPE OVERFLOW ELE. 984.00  
OUTLET INV. 981.71

FES-12  
HOPE FLARED END SECTION CONFORMING TO FILL  
INLET INV. 981.71

Client: PALMER BUS SERVICE PRINCETON, MN BUSINESS PARK DRIVE, ADDRESS TBD	Final Design Authority Approved Date: 2024-08-27	Drawn By: KJG	Revision
STORMWATER MANAGEMENT PLAN	Preliminary	Checked By:	
Drawing Status:	X		
Record Plans	Issued for Construction		
GADIENT ENGINEERING RED WING, MN			



C2.2

STORMWATER MANAGEMENT PLAN	Preliminary	Checked By:	
Drawing Status:	X		
Record Plans	Issued for Construction		
GADIENT ENGINEERING RED WING, MN			

**WATERSHED SUMMARY OF PROPOSED SITE**

PROPOSED WS-1, 11' SITE STORM SEWER, CONVEYED TO WEST POND  
 TOTAL AREA = 41,377FT<sup>2</sup>

PROPOSED WS-2 WEST POND  
 TOTAL AREA = 92,632FT<sup>2</sup>

PROPOSED WS-3  
 DRAINS TO NORTH POND  
 TOTAL AREA = 75,082FT<sup>2</sup>

WEST STORMWATER MANAGEMENT BASIN  
 100 YR HWL = 983.65  
 100 YR FREQ. = 1.85  
 100 YR FREEBOARD = 0.9855  
 100 YR FREEBOARD = 1.85 FT

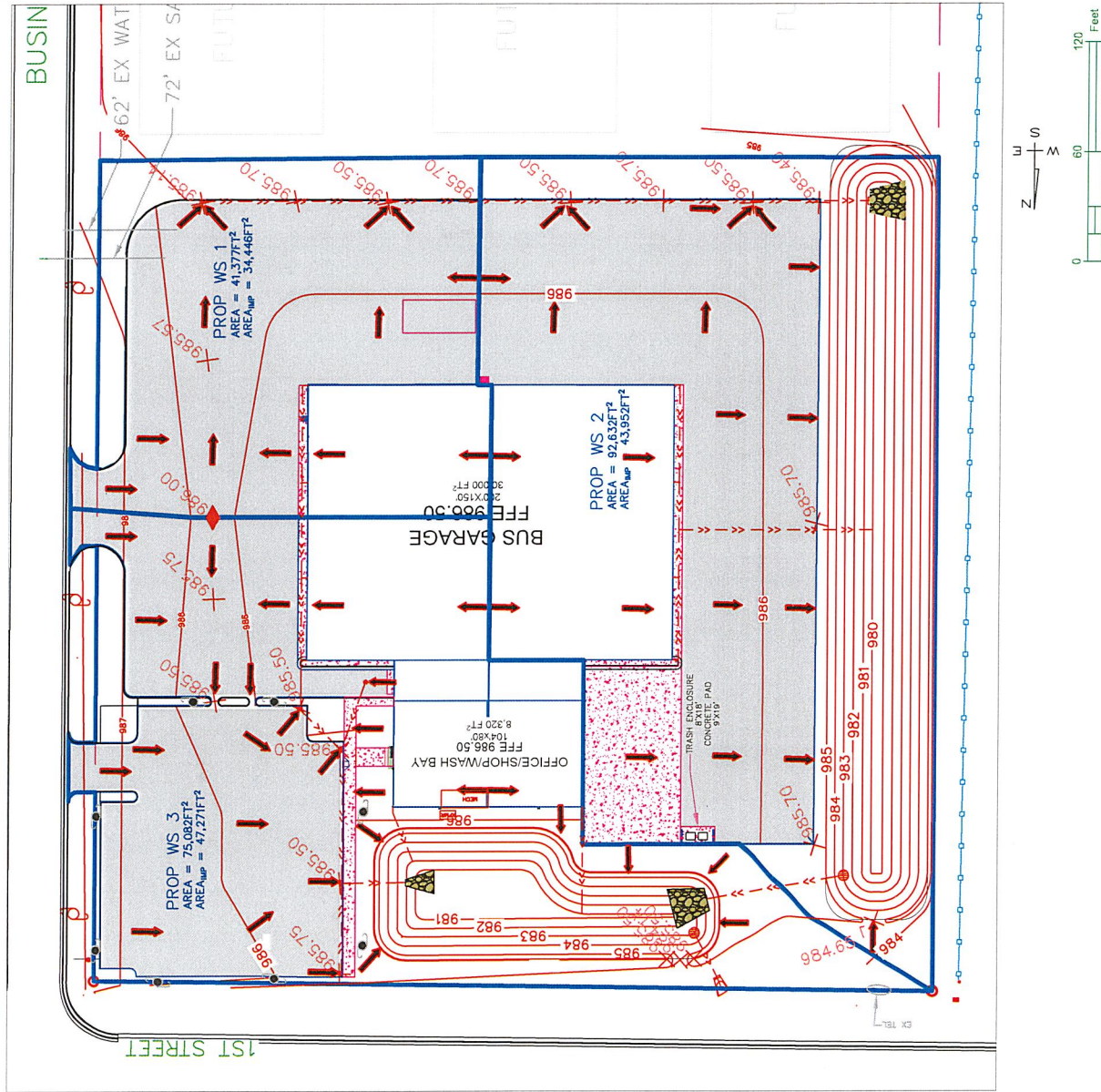
NORTH STORMWATER MANAGEMENT BASIN  
 100 YR HWL = 984.14  
 100 YR FREQ. = 1.85  
 100 YR FREEBOARD = 1.36 FT

HYDRAULIC ANALYSIS SUMMARY  
 THE HYDRAULIC ANALYSIS PERFORMED UTILIZING HYPROCAD, THE PRE- AND POST DEVELOPMENT PEAK RUNOFF RATES WERE COMPARED. THE PROPOSED STORMWATER MANAGEMENT SYSTEM MEETS THE REQUIREMENTS FOR PEAK RATE REDUCTION FOR THE 2, 10, AND 100 YEAR RAINFALL EVENTS. THE STORMWATER MANAGEMENT BASINS PROVIDE ADEQUATE STORAGE FOR THE 2, 10, AND 100 YEAR RAINFALL EVENTS. THE SUMMARY RESULTS ARE SHOWN IN THE TABLES BELOW. THE PROPOSED STORMWATER IMPROVEMENTS PASS THE FLOW RESULTING FROM A 100 YEAR RAINFALL EVENT WITHOUT EXCEED THE BERM TOP ELEVATIONS OF THE INFILTRATION AND RETENTION AREAS.

POLLUTANT REMOVAL AND INFILTRATION ARE ADDRESSED IN THE SWPPP IN THIS PLAN SET.

WATERSHED	STORM EVENT		
	2 YEAR	10 YEAR	100 YEAR
EXISTING WS-1	0.00	0.01	0.20
EXISTING WS-2	0.00	0.02	0.54
EXISTING WS-3	0.00	0.01	0.35
TOTAL RUNOFF	0.00	0.04	1.09
PEAK RUNOFF RATE	0.00	0.03	1.08

WATERSHED	STORM EVENT		
	2 YEAR	10 YEAR	100 YEAR
PROP WS-1	3.14	5.26	9.29
PROP WS-2	3.68	7.61	15.85
PROP WS-3	2.79	5.91	12.54
TOTAL RUNOFF	9.61	18.78	37.68
PEAK RUNOFF RATE WITH STORMWATER MANAGEMENT SYSTEM	0.00	0.01	0.56



STORMWATER MGMT- PROPOSED WATERSHEDS	X	Preliminary	Checked By	Drawn By: KJG	Revision
		Authority Approved	Date: 2024-08-27		
		Final Design			
		Issued for Construction			
		Record Plans			

Client: PALMER BUS SERVICE  
 PRINCETON, MN  
 BUSINESS PARK DRIVE, ADDRESS TBD  
 PALMER PRINCETON HOLDINGS, LLC  
 GADIENT ENGINEERING RED WING, MN

SITE PLAN  
 PRELIMINARY

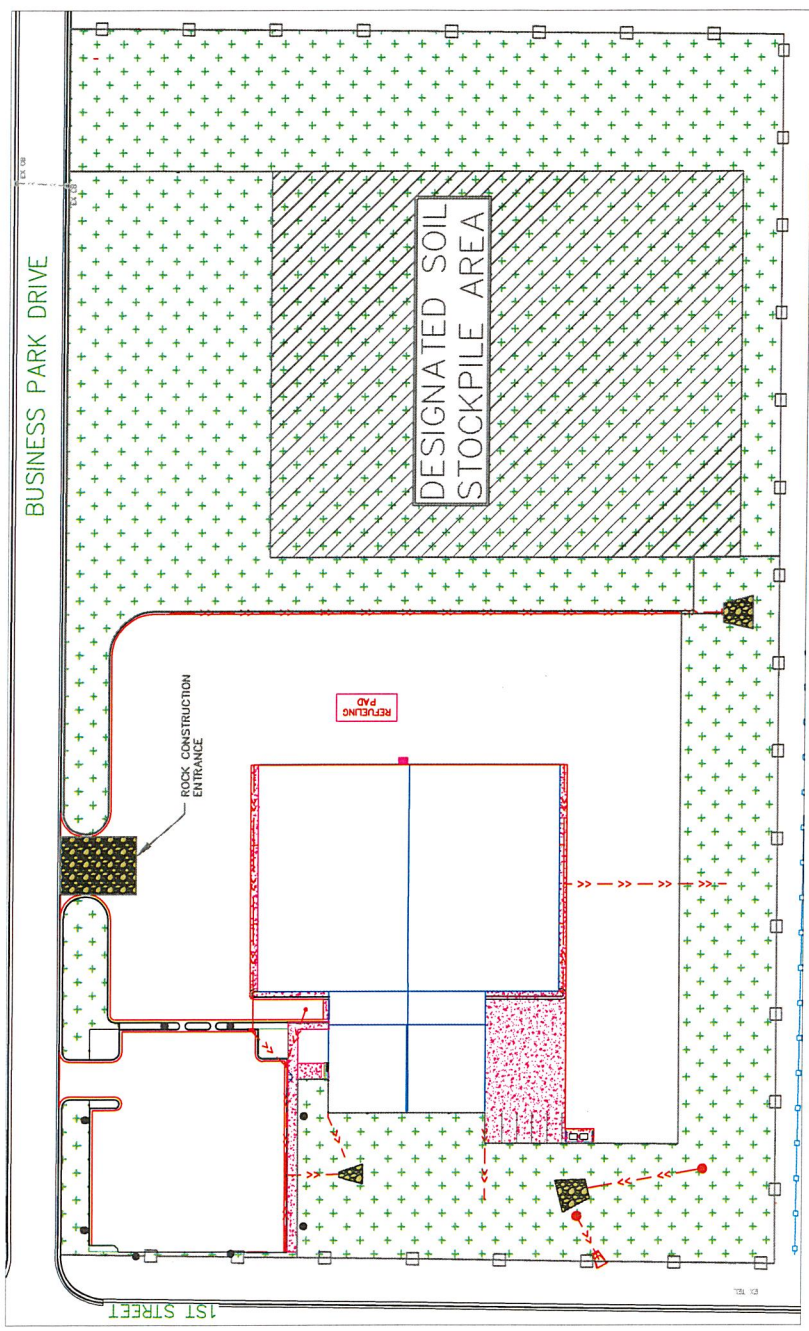


ESTIMATE OF QUANTITIES

- 1,762 LF SILT FENCE
- 0 SF EROSION MAT
- 29 YD RIP RAP
- 5.54 AC SEEDING
- 0 LF SEDIMENT CONTROL LOG
- 2 EA 2'X3' INLET PROTECTION DEVICE
- 0 EA INLET PROTECTION DEVICE

CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL MEASURES
2. PERFORM SITE GRADING.
3. CONSTRUCT STORMWATER CONVEYANCE SYSTEM.
4. CONSTRUCT BUILDINGS AND CONCRETE APRONS.
5. CONSTRUCT PAVEMENTS AND CRUSHED AGGREGATE SURFACES.
6. RESTORE TOPSOIL.
7. PERFORM SEEDING/LANDSCAPING/TURF RESTORATION.
8. PERFORM MAINTENANCE AND REMOVE SEDIMENT FROM STORMWATER MANAGEMENT SYSTEM INCLUDING STORM SEWER AND REGIONAL POND.
9. REMOVE EROSION CONTROL MEASURES AFTER SOILS ARE STABILIZED.



EROSION CONTROL AND SWPPP	Drawing Status:	Drawn By: KJG---	Revision
PALMER PRINCETON HOLDINGS, LLC	X Preliminary	Checked By:	
BUSINESS PARK DRIVE, ADDRESS TBD	Authority Approved	Date: 2024-08-27	
PRINCETON, MN	Final Design		
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GADIENT ENGINEERING RED WING, MN	Record Plans		

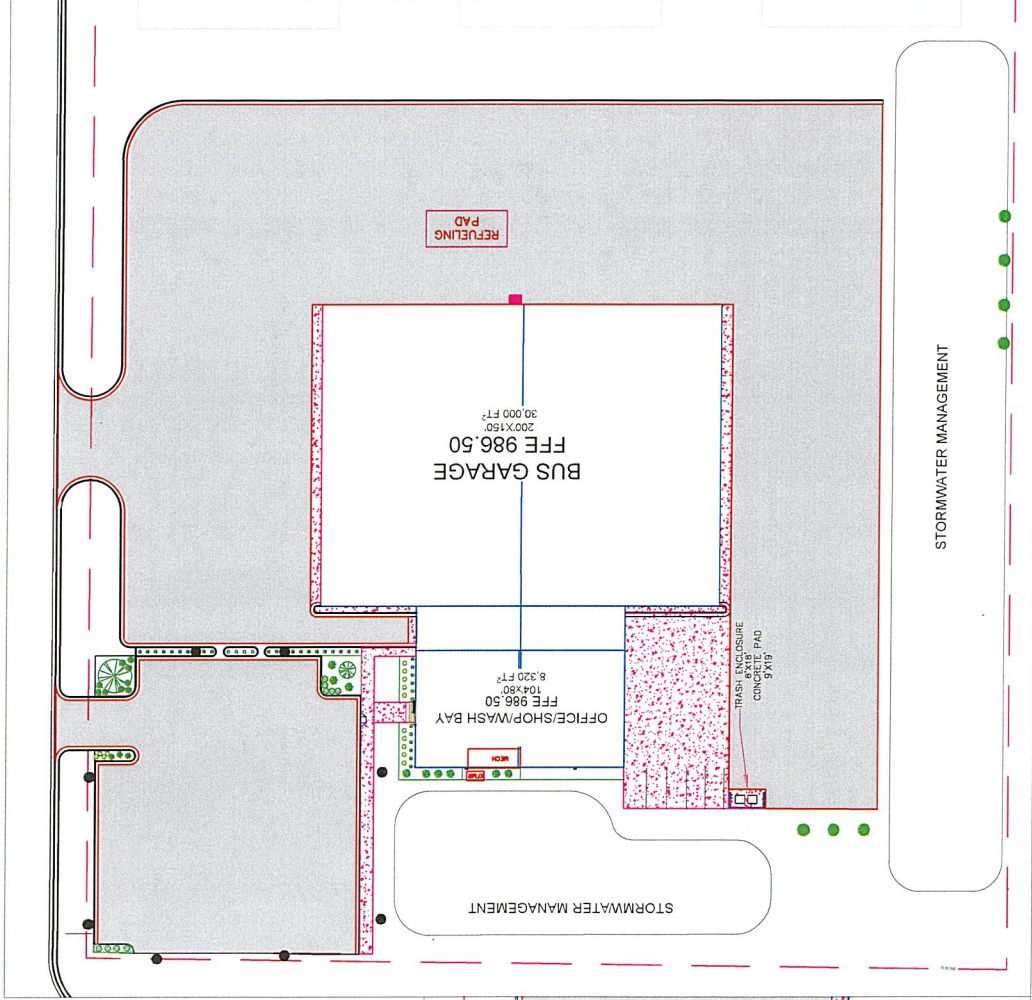
SITE PLAN  
PRELIMINARY

C3.0

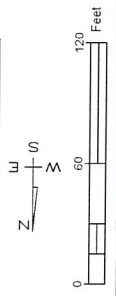
# LEGEND

-  BLUE SPRUCE: *Picea spp*
-  FLOWERING CRABAPPLE TREE - *Malus spp*
-  AUTUMN BLAZE MAPLE - *Acer Freemanii*
-  BLUE JUNIPER SHRUB: *Juniperus*
-  KARL FOERSTER FEATHER REED
-  GRASS: *Calamagrostis Acutiflora*
-  BLACK EYED SUSAN: *Rudbeckia Goldsturm*
-  CATMINT: *Nepeta x fassenii*
-  RUSSIAN SAGE: *Perovskia atricpilifolia*
-  DAYLILLY: *Hemerocallis*

**LANDSCAPING PLANS SUMMARY**  
 SITE LANDSCAPING SHALL MEET THE LANDSCAPING REQUIREMENTS SET FORTH IN THE CITY OF PRINCETON SUBDIVISION ORDINANCE VI-8, REV. 8-13-20 AND VI-8, REV. 10-94.  
 LANDSCAPING COMPUTATIONS AND COMPLIANCE SHOWN ON SITE PLAN.  
 MINIMUM PLANTING SIZES SHALL BE:  
 CONIFEROUS TREES - 2" CALIBER  
 DECIDUOUS TREES - 6" HEIGHT  
 SHRUBS - 24" DIAMETER AT TIME OF PLANTING



DRAWING NOT TO SCALE



LANDSCAPING PLAN	Drawing Status:	Drawn By: KJG---	Revision
PALMER PRINCETON HOLDINGS, LLC	Preliminary	Checked By:	
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C4.0



